



Public Draft Modules 1A & 1B

MAURY COUNTY
UNIFIED
— DEVELOPMENT —
PLAN
TENNESSEE

Public Forum
June 25, 2024

Agenda

- Project Status and Schedule
- Overview of Modules 1A & 1B
- Discussion
- Next Steps

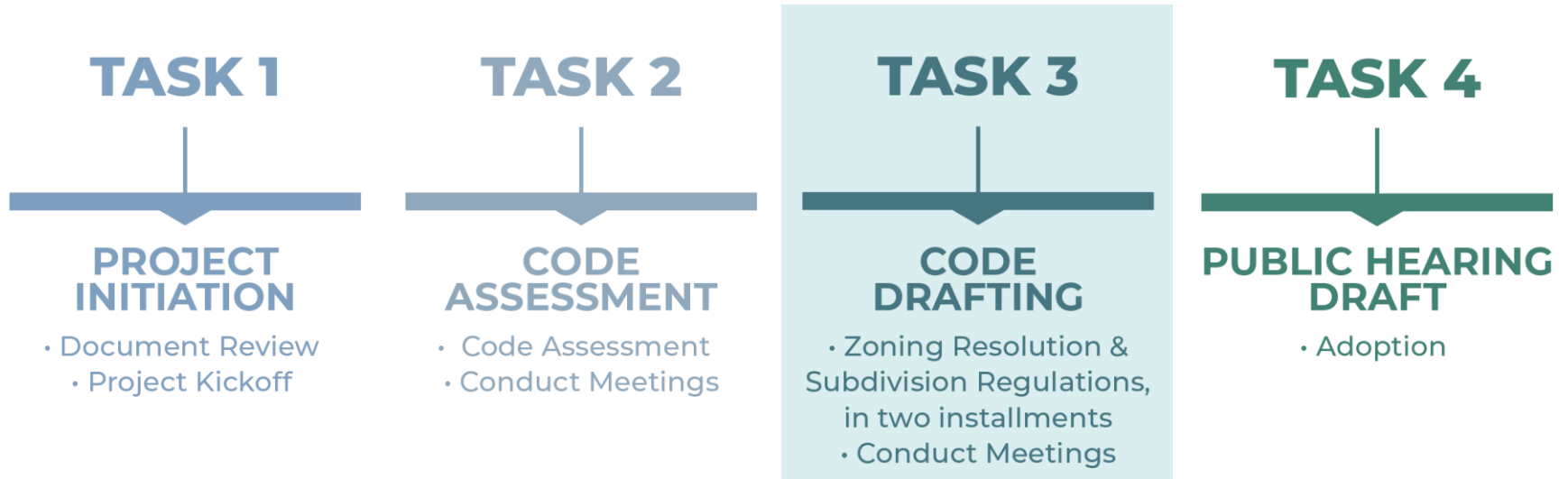
New Zoning Ordinance
Public Review Draft
Module 1A & 1B - June 2024

Article 1: General Provisions
Article 2: Administration
Article 3: Zone Districts
Article 4: Use Regulations
Article 6: Nonconformities
Article 7: Enforcement
Article 8: Definitions and Rules for Construction, Interpretation, and Measurement

MAURY COUNTY
UNIFIED
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Kirkland Dunlap Ransom
McBride DALE CLARION

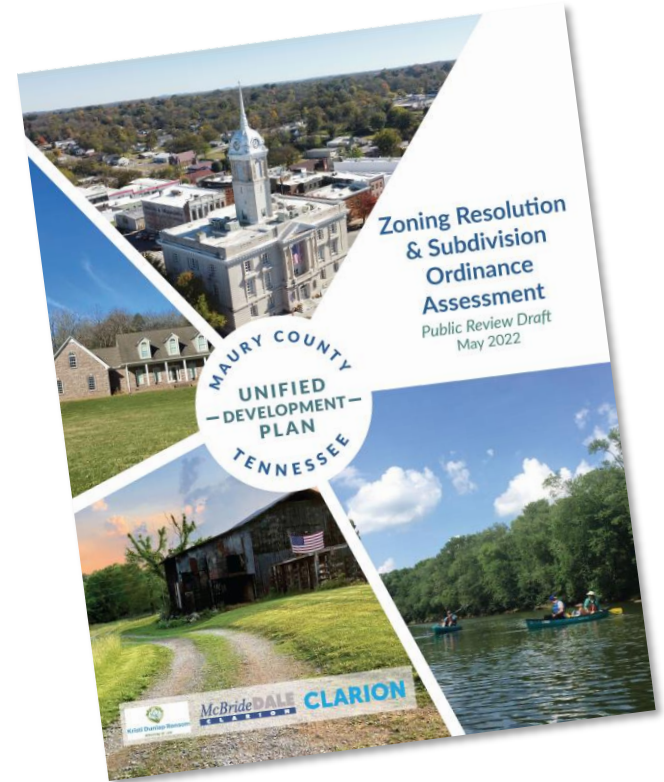
Project Status and Schedule



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Key Themes

- Theme 1: Create User-Friendly Regulations
- Theme 2: Update and Modernize the Zone Districts and Use Regulations
- Theme 3: Maintain the County's Rural Character
- Theme 4: Modernize the Development Standards



Overview of New Zoning Ordinance

Article 1	General Provisions
Article 2	Administration
Article 3	Zone Districts
Article 4	Use Regulations
Article 5	Development Standards
Article 6	Nonconformities
Article 7	Enforcement
Article 8	Definitions and Rules for Construction, Interpretation, and Measurement

Overview of New Zoning Ordinance

Article 1	General Provisions
Article 2	Administration
Article 3	Zone Districts
Article 4	Use Regulations
Article 5	Development Standards
Article 6	Nonconformities
Article 7	Enforcement
Article 8	Definitions and Rules for Construction, Interpretation, and Measurement

**Articles
included in
Modules
1A and 1B**

Overview of New Zoning Ordinance

1

Article 3 Zone Districts

Article 4 Use Regulations

2

Article 2 Administration

3

Article 1 General Provisions

Article 6 Nonconformities

Article 7 Enforcement

Article 8 Definitions and Rules for Construction, Interpretation, and Measurement

Changes from Zoning Resolution

Extensive footnotes on the bottom of each page in the public draft identify each change from the current Zoning Resolution

²⁷¹ These are new standards for a new use.

²⁷² This carries forward the standards in Sec. 4.060 of the Zoning Resolution. References to the general sign standards are not included.

²⁷³ This carries forward the standards in Section 4.2000 of the Zoning Resolution.

²⁷⁴ This carries forward and updates for clarity the standards in Sec. 4.110 of the Zoning Resolution.

²⁷⁵ The limitation on the height of outdoor storage is new.

Article 3: Zone Districts

Establishes the County's zone districts and the standards specific to each district

- Updates the lineup of zone districts
- Reorganizes regulations to make them more user-friendly and easier to understand

Section 3.1

General Provisions

Section 3.2

Agricultural and Residential Districts

Section 3.3

Commercial Districts

Section 3.4

Planned Development Districts

Section 3.5

Overlay Districts

Zone Districts: Simple & Modern Layout

Purpose Statement

Reference to Article 4: Use Regulations

Density and Dimensional Standards in Table Form

Article 3: Zone Districts
Section 3.2. Agricultural and Residential Districts

Section 3.2.4
RG: Residential General

3.2.4. RG: Residential General⁷⁷

(A) Purpose and Intent

The purpose of the RG: Residential General district is to provide lands that accommodate low-density residential development in areas within the unincorporated areas of the County.

(B) Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 4: Use Regulations.

(C) Intensity and Dimensional Standards

Development in the RG district shall comply with the standards in Table 3-6: RG District Intensity and Dimensional Standards, and Section 3.1.4, General Zone District Standards.

Table 3-6: RG District Intensity and Dimensional Standards			
Standard	Value	Standard	Value
Lot area, min (acres)	1 [1] ⁷⁸	Setbacks, min (ft)	
Density, max (du/acre)	1 ⁷⁹	C Front	25 ⁸⁰
A Lot width, min (ft)	100 ⁸¹	D Side	20 30 [2] 33 ⁸²
E Height, max (stories ft)	2 35 ⁸³	E Rear	30 [2] ⁸⁴
Lot coverage, max	30% ⁸⁵		

du = dwelling units min = minimum max = maximum ft = feet

NOTES:

- [1] Lots that were served by sanitary sewer as of [insert effective date of this Ordinance] may be as small as 20,000 square feet in area.
- [2] The minimum side setback to another lot is 20 feet; the minimum side setback to a secondary street frontage is 30 feet for the principal building.
- [2] An accessory structure may be located within the side setback to a secondary frontage or the rear setback if it is a minimum of 15 feet from the property line.

⁷⁷ The RG: Residential General District consolidates the A-1, A-2, and A-2A districts.

⁷⁸ Minimum lot area is two acres in A-1, one acre in A-2 (except for lands served by a sanitary sewer system which can be as small as 20,000 square feet), one acre in A-2A. The reference to the lot size requirements in table note [1] is included to reduce nonconformities, and ensuring future use of this district has a consistent one-acre minimum lot size.

⁷⁹ The A-2 district establishes a minimum one-acre lot size "for each single family dwelling unit and/or duplex permitted on the lot." It is not expected that the allowance of only single-family detached dwellings as a residential use in this district will cause nonconformities.

⁸⁰ Minimum front yard setback in the R-1 district is 30 feet.

⁸¹ Regulations in the Zoning Resolution (Section 5.041d.6 for the A-1 district, Section 5.042e.6 for the A-2 district, and Section 5.043e.6 for the A-2A district) grant the Planning Commission authority to reduce the minimum lot width from 200 feet to 100 feet; this has been replaced by a 100 foot minimum..

⁸² In the A-1, A-2, and A-2A districts, the minimum side setbacks are 20 feet with a one- or two-story building, and 25 feet with a three-story building.

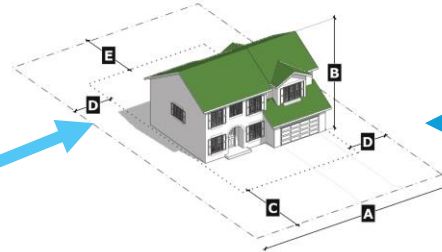
⁸³ Changes maximum height to two stories (retains 35 feet maximum). **NOTE:** The maximum height in the A-1, A-2, and A-2A districts is 3 stories or 35 feet. This change may cause nonconformities.

⁸⁴ Current rear setback is 35 feet for the principal structure in the A-1 district, and 30 feet in the A-2 and A-2A districts.

⁸⁵ This is a decrease from the 30 percent lot coverage maximum in the R-1 district.

Article 3: Zone Districts
Section 3.2. Agricultural and Residential Districts

Section 3.2.4
RG: Residential General



(D) Development Standards

Development in the RG district shall comply with all applicable standards in the Subdivision Regulations and this Ordinance, including but not limited to the standards referenced in Table 3-7: Cross-References to Other Standards.

Table 3-7: Cross-References to Other Standards			
Sec.	Standard	Sec.	Standard
5.1	Access and Connectivity Standards	5.8	Agricultural Compatibility Standards
5.2	Off-Street Parking and Loading Standards	5.9	Neighborhood Compatibility Standards
5.3	Landscaping Standards	5.10	Multifamily and Townhouse Form and Design Standards
5.4	Exterior Lighting Standards	5.11	Large Retail Establishment Form and Design Standards
5.5	Open Space Set-Aside Standards	5.12	Sign Standards
5.6	Steep Slope Standards	5.13	Floodplain District Standards
5.7	Fence and Wall Standards	5.14	Environmental Standards

(E) Additional Standards

- (1) Accessory structures shall be located at least 10 feet behind the principal building on the site.⁸⁶

⁸⁶ This is a new standard.

Diagram and Labels Linked to Table

Reference to Other Applicable Standards

Article 3: Zone Districts

Section 3.1: General Provisions

- Establishes all districts
- Describes the base, planned development, and overlay districts generally
- Establishes general rules, including minimum lot size for development with septic systems

Article 3: Zone Districts

Commentary on Draft:

Article 3: Zone Districts, establishes and contains the dimensional and other basic regulations for the base, planned development, and overlay zone districts in the County.

Section 3.1, General Provisions, establishes the different types of zone districts, requires that all development comply with district standards, and establishes general standards that apply to all districts.

Section 3.2, Agricultural and Residential Districts, establishes the agricultural and residential base districts, including one agricultural district and two residential districts.

Section 3.3, Commercial Districts, establishes seven districts that are intended for a variety of commercial, business, and industrial uses.

Section 3.4, Planned Development Districts, establishes standards for the new Planned Development district and Planned Development-Traditional Neighborhood Development district.

Section 3.5, Overlay Districts, establishes standards for the floodplain overlay district.

This commentary is provided for reference purposes. It will be deleted in the adopted Zoning Ordinance.

Section 3.1 General Provisions

3.1.1. Zone Districts Established⁷⁰

This Ordinance establishes the zone districts identified in Table 3-1: Zone Districts Established. The boundaries of each zone district are identified on the Official Zone District Map (see Section 1.7, Official Zoning Map).

Table 3-1: Zone Districts Established	
Agricultural and Residential Districts	
AG: Agricultural Preservation	Section 3.2.2
RR: Residential Rural	Section 3.2.3
RG: Residential General	Section 3.2.4
RN: Residential Neighborhood	Section 3.2.5
Commercial Districts	
CRC: Commercial Rural Center	Section 3.3.2
CN: Commercial Neighborhood	Section 3.3.3
CC: Commercial Center	Section 3.3.4
COR: Commercial Corridor	Section 3.3.5
IL: Industrial Light	Section 3.3.6
IM: Industrial Medium	Section 3.3.7
IH: Industrial Heavy	Section 3.3.8

⁷⁰ This section establishes the zone districts in the Ordinance. A table that identifies the transition between the existing zone districts in the Zoning Resolution and the new zone districts will be included in Article 1: General Provisions. Further discussion of the new zone districts is included in Section 2.1.2, Proposed Zone District Structure, of the Code Assessment, pages II-29 through II-33, except some of the proposed zone district names and abbreviations have been revised, and the AP: Agricultural Preserve, RN: Residential Neighborhood, and COR: Commercial Corridor districts are new.

Article 3: Zone Districts

Overview of Changes – Agricultural and Residential Districts

Zoning Resolution

New Zoning Ordinance

AP: Agricultural Preservation [New]

RR: Residential Rural [New]

A-1: Agricultural Forestry

A-2: Rural Residential

RG: Residential General

A-2A: Rural Residential

R-1: Suburban Residential

RN: Residential Neighborhood

R-2: Urban Fringe Residential

Article 3: Zone Districts

Section 3.2: Agricultural and Residential Districts

- **AP: Agricultural Preservation**
New; intended to help preserve valuable ag and forestry land
Minimum 15-acre lot size, 1 dwelling unit per 5 acres. Not applied when new Zoning Ordinance adopted; landowners will request to be rezoned
- **RR: Rural Residential**
New; supports very low-density residential uses on large lots
Minimum 5-acre lot size; 1 dwelling unit per acre. Not applied when new Zoning Ordinance adopted; landowners will request to be rezoned
- **RG: Residential General**
Low density residential uses throughout county
**Consolidates A-1, A-2A (only used on one site in the County) and A-2 districts
A-2 standards carried forward**

Article 3: Zone Districts

Section 3.2: Agricultural and Residential Districts

- **RN: Residential Neighborhood** **Minimum 6,500 square foot lot size**
Supports small lots for residential developments on land that preserves a significant amount of land (30% of development) as open space

Article 3: Zone Districts

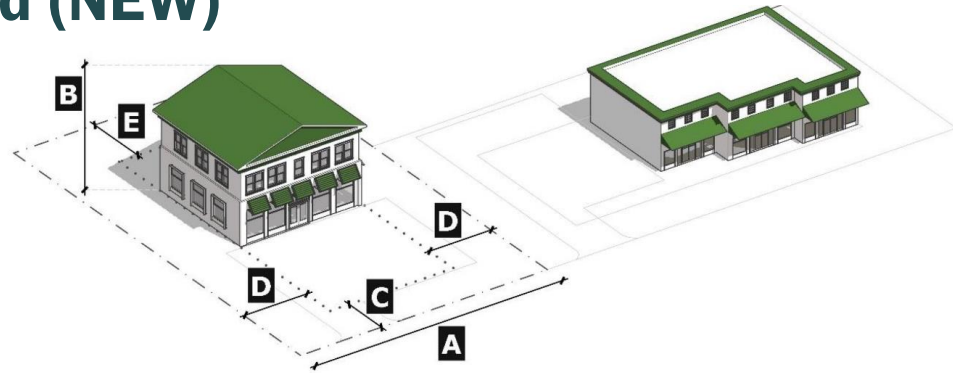
Overview of Changes – Commercial Districts

Zoning Resolution	New Zoning Ordinance
C-1: Rural Center	CRC: Commercial Rural Center
	CN: Commercial Neighborhood [New]
C-2: General Commercial	CC: Commercial Center
	COR: Commercial Corridor [New]
C-3: Special Commercial	[Deleted]
M-1: Light Industrial	IL: Industrial Light
M-2: Heavy Industrial	IM: Industrial Medium
M-3: Special Industrial	IH: Industrial Heavy

Article 3: Zone Districts

CN: Commercial Neighborhood (NEW)

- Intended for neighborhood-serving commercial uses along edges of neighborhoods.
- Small-scale and compact (no strip malls)
- Uses: Limited retail and personal services, eating or drinking establishments, small mixed-use developments



Max. Height	3 stories 45 feet
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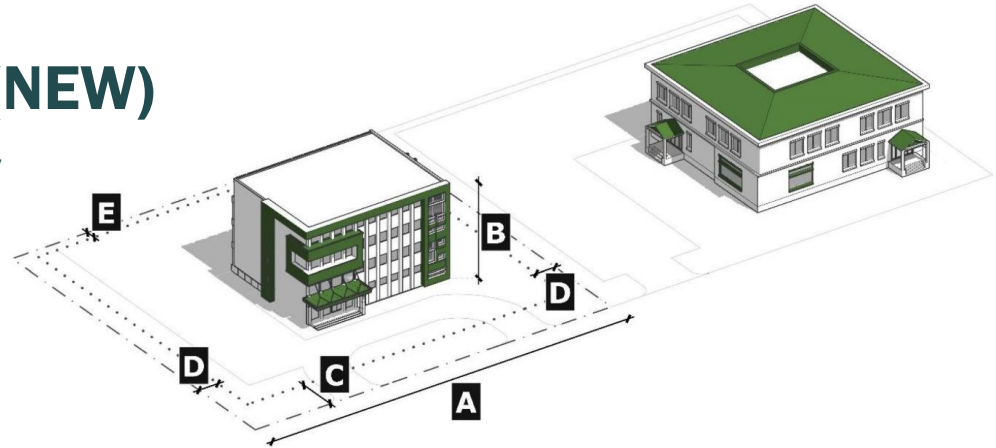
Max. Lot Coverage	60%
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Max. Building Floorplate	5,000 sf
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Article 3: Zone Districts

COR: Commercial Corridor (NEW)

- Accommodates higher intensity commercial development
- Intended near incorporated areas along major roads and interstate interchanges
- Allows more intense uses that previously required municipal annexation to take place on land in County



Max. Height	3 stories 35 feet
Max. Lot Coverage	80%
Min. Lot Width	100 feet

Article 3: Zone Districts

IL: Industrial Light

- Generally carries forward current standards, but allows some additional uses (such as restaurants and hotel/motels) that support the district's primary office/light industrial uses.

IM: Industrial Medium and IH: Industrial Heavy

- Carries forward current standards
- Incorporates recent landfill and waterway/karst setbacks and new use-specific standards recently adopted by the County Commission

Article 3: Zone Districts

Overview of Changes – Planned Development and Overlay Districts

Zoning Resolution	New Zoning Ordinance
R-PUD: Residential PUD	[Deleted]
CG-PUD: Commercial General PUD	[Deleted]
CC-PUD: Commercial Convenience PUD	[Deleted]
I-PUD: Industrial PUD	[Deleted]
	PD: Planned Development [New]
Floodway District	FL-0: Floodplain Overlay
	SW-0: Solid Waste Overlay [New]

Article 3: Zone Districts

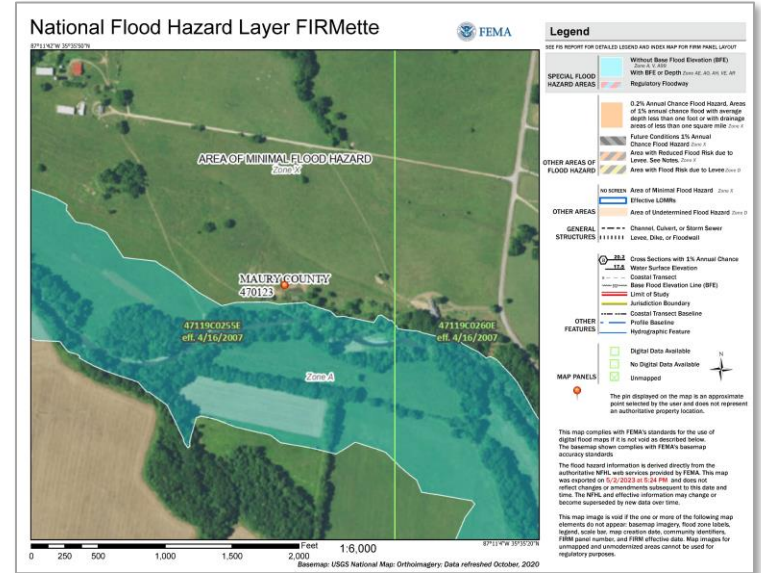
Section 3.4: Planned Development District

- Replaces the Planned Unit Development districts
- Supports innovative, higher-quality development not supported by base zone districts
- Require PD Plan and PD Agreement, which establish key parameters of the project
- Existing approved PUDs will remain valid

Article 3: Zone Districts

Section 3.5: Overlay District

- Overlay districts provide supplemental standards that apply in addition to those of the underlying base district.
- FL-O: Floodplain Overlay incorporates floodplain standards
- SW-O: Solid Waste Overlay restricts location of private landfills and related uses



Article 4: Use Regulations

Establishes allowed uses and standards that apply to uses

- Consolidates and reorganizes regulations:
 - Principal uses;
 - Accessory uses and structures; and
 - Temporary uses and structures
- Modernizes use definitions and use standards

Section 4.1

Organization of Article

Section 4.2

Principal Uses

Section 4.3

Accessory Users and Structures

Section 4.4

Temporary Uses and Structures

Article 4: Use Regulations

Section 4.2: Principal Uses

Establishes regulations for principal uses of land.
Organizes principal uses under use classifications, use categories, and use types

- **Table of uses** identifies principal uses allowed in each district
- Descriptions of the broader categories of uses
- Standards that apply to specific principal uses
- Principal uses defined in Article 8: Definitions and Rules for Construction, Interpretation, and Measurement

Use in Article 4

Manufacturing and Processing

Brewery¹³²

Definition in Article 8

*Brewery*³⁰⁹

An establishment where malt liquors, regardless of alcohol content by volume, are produced in accordance with the production and licensing requirements of the Tennessee Code Annotated.

Consolidated Principal Use Table

Table 4-1: Principal Use Table
 P = Permitted A = Allowed in PD S = Special Exception
 W = Permitted Only In SW-O District Blank = Not Permitted

Use Classification	Use Category/Type	Zone Districts											Use-Specific Standards	
		Residential				Commercial						PD		
		AP	RR	RG	RN	CRC	CN	CC	COR	IL	IM	IH		PD
	Travel trailer rental ²⁰⁶					P		P	P	P			A	
	Industrial													
	Extraction													
	Mining ²⁰⁷								S	S			A	
	Manufacturing and Processing													
	Brewery ²⁰⁸										S	P	A	4.2.4(E)(1)
	Distillery ²⁰⁹										S	P	A	4.2.4(E)(1)
	Manufacturing, artisanal ²¹⁰							P	P		P	P	A	
	Manufacturing, heavy ²¹¹											P	A	

Use Classification

Use Category

Use Type

Reference to Use-Specific Standards

Permissions in each zone district

Article 4: Use Regulation Example

Table 4-1: Principal Use Table

P = Permitted A = Allowed in PD S = Special Exception
 W = Permitted Only in SW-O District Blank = Not Permitted

Use Category/Type	Zone Districts													Use-Specific Standards
	Residential				Commercial						PD			
	AP	RR	RG	RN	CRC	CN	CC	COR	IL	IM	IH	PD		
Food and Beverage Services														
Bar or tavern ¹⁷⁶							P	P	P	P			A	4.2.4(D)(3)

P Allowed by right in CN, CC, COR, and IL districts

A Allowed in PD district (if included in PD Plan)

(blank) Prohibited in all other districts

Definition (Sec. 8.5)

Bar or Tavern

An establishment providing or dispensing, for on-site consumption, any fermented malt beverage, malt beverage, special malt, vinous, or spirituous liquors. Accessory uses may include the sale of food products such as sandwiches and light snacks.

Use-Specific Standard Applies in All Districts

(3) Bar or Tavern

No bar or tavern shall be located within 500 feet of another bar or tavern, or a child care center, family child care home, group child care home, religious facility, public park, k-12 school, adult-oriented establishment, or liquor store use.

Article 4: Use Regulations

Section 4.3: Accessory Uses

Establishes regulations that apply to accessory uses and structures

- Table of accessory uses and structures allowed in each zone district
- General standards that apply to all accessory uses and structures
- Standards that apply to specific accessory uses and structures
- Accessory uses defined in Article 8

Table 4-7: Accessory Use and Structure Table

P = Permitted A = Allowed in PD S = Special Exception Blank = Not Permitted

Use Category/Type	Zone Districts													Use-Specific Standards
	Ag./Res.				Commercial								PD	
	AP	RR	RG	RN	CRC	CN	CC	COR	O	IM	IH	PD		
Antenna ²⁷⁸	P	P	P	P	P	P	P	P	P	P	P	P	A	
Automated teller machine (ATM) ²⁷⁹					P	P	P	P	P	P	P	P	A	
Caretaker dwelling ²⁸⁰								P	P	P	P	P	A	
Carport or garage ²⁸¹	P	P	P	P	P	P	P	P	P	P	P	P	A	
Drive-through facility ²⁸²					P		P	P	P	P	P	P	A	4.3.4(A)
Electric vehicle level 1 or 2 charging station ²⁸³	P	P	P	P	P	P	P	P	P	P	P	P	A	
Electric vehicle level 3 charging station ²⁸⁴	P	P	P	P	P	P	P	P	P	P	P	P	A	
Family burial ground ²⁸⁵	P	P	P	P	P	P	P	P					A	4.3.4(B)
Greenhouse ²⁸⁶	P	P	P	P									A	
Home occupation ²⁸⁷	P	P	P	P									A	4.3.4(C)
Limited wood assembly ²⁸⁸	S												A	4.3.4(D)
Outdoor display of merchandise ²⁸⁹					P	P	P	P	P				A	4.3.4(E)
Outdoor seating or activity area ²⁹⁰	P				P	P	P	P	P	P	P	P	A	4.3.4(F)
Outdoor storage area ²⁹¹	P	P	P	P	P	P	P	P	P	P	P	P	A	
Satellite dish, accessory ²⁹²	P	P	P	P	P	P	P	P	P	P	P	P	A	
Solar energy conversion system, small-scale ²⁹³	P	P	P	P	P	P	P	P	P	P	P	P	A	4.3.4(G)
Stable, accessory ²⁹⁴	P	P											A	
Storage building ²⁹⁵	P	P	P	P	P	P	P	P	P	P	P	P	A	
Swimming pool ²⁹⁶	P	P	P	P	P	P	P	P	P	P	P	P	A	4.3.4(H)
Wind energy conversion system, small ²⁹⁷	P	P	P	P	P	P	P	P	P	P	P	P	A	4.3.4(I)

Article 4: Use Regulations

Section 4.4: Temporary Uses

Establishes regulations that apply to temporary uses and structures

- Table of temporary uses and structures allowed in each zone district
- General standards that apply to all temporary uses and structures
- Standards that apply to specific temporary uses and structures
- Temporary uses defined in Article 8

Table 4-8: Temporary Use and Structure Table

P = Permitted A = Allowed in PD T = Permit Required Blank = Not Permitted

Use Category/Type	Zone Districts												Use-Specific Standards
	Ag./Res.			Commercial						PD			
	AF	RR	RG	CR	CN	CC	COR	O	IM	IH	PD	PD TND	
Christmas tree sales ²⁴⁰	T	T	T	T	T	T	T	T	T	T	AT	AT	4.4.3(A)
Construction-related building ²⁴¹	T	T	T	T	T	T	T	T	T	T	AT	AT	4.4.3(B)
Fireworks sales stand ²⁴²	T			T	T	T	T	T	T	T	AT	AT	4.4.3(C)
Portable storage container ²⁴³	P	P	P	P	P	P	P	P	P	P	A	A	4.4.3(D)
Seasonal sale of farm produce ²⁴⁴	P	P									A	A	4.4.3(E)
Special event ²⁴⁵	T	T	T	T	T	T			T	T	AT	AT	4.4.3(F)
Temporary dwelling unit for cases other than medical hardship ²⁴⁶	T	T	T	T	T	T	T	T	T	T	AT	AT	4.4.3(G)
Temporary family healthcare structure ²⁴⁷	T	T	T	T	T	T	T	T	T	T	AT	AT	4.4.3(H)
Temporary real estate sales office ²⁴⁸	T	T	T								AT	AT	4.4.3(I)
Temporary road material manufacture ²⁴⁹	T			T	T	T	T	T	T	T	AT	AT	4.4.3(J)

Article 2: Administration

Establishes procedures and standards for review and approval of development applications

- Establishes review responsibilities for each body (e.g. County Commission)
- Establishes clear procedures
- Step-by-step process

Section 2.1

Organization

Section 2.2

Summary Table of Development Review Responsibilities

Section 3.3

Advisory and Decision-Making Bodies and Persons

Section 3.4

Standard Application Requirements and Procedures

Section 3.5

Application Specific Review Procedures and Decision Standards

Article 2: Administration

Section 2.2: Summary Table

Summarizes all applicable procedures

- Lists each development review procedure (e.g. zoning map amendment)
- List which body has review, advisory, decision-making, or appeal authority
- Indicates if pre-application conference, neighborhood meeting, or public hearing is required

Table 2-1: Summary of Development Review Responsibilities				
D = Decision R = Recommendation S = Staff Review A= Appeal				
* = Public Hearing				
+ = Pre-application conference required ^ = Neighborhood meeting may be required				
Review Procedure	Director of Building and Zoning	Board of Zoning Appeals	Planning Commission	County Commission
Discretionary Approvals				
Zoning Map Amendment+^	R		R	D*
Zoning Ordinance Text Amendment+	R		R	D*
Planned Development Map Amendment+^	R		R	D*
Special Exception Permit+	S	D*		
Site Development				
Site Plan				
Minor	D			
Major+	R		D*	
Zoning Compliance Certificate	D			
Permits				
Sign Permit	D			
Home Occupation Permit	D			
Temporary Use Permit	D			
Utility System Permit	S		R	D
House Moving Permit	S		D	
Building Permit	D			
Relief and Interpretation				
Zoning Variance	S	D*		
Floodplain Variance	S	D*		
Appeal of Administrative Decision	S	D*		
Floodplain Appeal	S	D*		
Interpretation	D	A*		

Article 2: Administration

Section 2.4: Standard Review Procedures

Establishes set of standard procedures that apply to all applications

For each individual procedure:

- Some standard procedures may not apply (e.g., public hearing)
- Some may be modified

Section 2.4 Standard Application Requirements and Procedures	2-5
2.4.1. General.....	2-5
2.4.2. Pre-Application Conference	2-6
2.4.3. Neighborhood Meeting	2-7
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2.4.8. Planning Commission Review and Recommendation	2-11
2.4.9. Decision-Making Body Review and Decision.....	2-11
2.4.10. Post Decision Actions and Limitations	2-12

Article 2: Administration

Section 2.4: Standard Review Procedures

- Updated **pre-application conference** required for certain major applications (Zoning Ordinance text amendments, rezonings, special exceptions, and major site plans)
- **Neighborhood meeting** required prior to submission of an application for rezoning
- Director rules on **“application completeness”** – review does not begin until a complete application is submitted
- Significant clarification and memorialization of existing procedures—
more predictability



Article 2: Administration

Section 2.5: Application-Specific Review Procedures

Most procedures have no substantive changes

Key changes:

- New two-tier site plan process
 - **Major site plans** reviewed and decided by Planning Commission
 - **Minor site plans** (< 10 dwelling units, < 10,000 sq ft of gross floor area) decided by Director
- Simplified **home occupation permit**, reviewed by Director
- Director makes decision on all **temporary use permits**
- New **formal interpretation procedure**

(1) Pre-Application Conference

A pre-application conference is required in accordance with Sec. 2.4.2, Pre-Application Conference.

(2) Application Submission and Completeness Determination

Applications shall be submitted in accordance with Sec. 2.4.4, Application Submission. The Director shall make a determination as whether the application is complete in accordance with Sec. 2.4.5, Application Completeness Determination.

(3) Staff Review and Action

The Director shall review the application in accordance with Sec. 2.4.6, Staff Review and Action.

(4) Scheduling of Public Hearing and Public Notification

The public hearing shall be scheduled and notification of the hearing provided in accordance with Sec. 2.4.7, Scheduling of Public Hearing and Public Notification.

Article 1: General Provisions

General rules that apply to entire Ordinance, and rules for transition from old Zoning Resolution to new Zoning Ordinance

Section 1.1	Title
Section 1.2	Authority
Section 1.3	General Purpose and Intent
Section 1.4	Applicability and Jurisdiction
Section 1.5	Conformance with Adopted Development Plans
Section 1.6	Relationship with Other County Laws
Section 1.7	Official Zoning Map
Section 1.8	Transitional Rules
Section 1.9	Use of Graphics, Illustrations, Figures, and Cross-References
Section 1.10	Effective Date
Section 1.11	Severability

Article 6: Nonconformities

Establishes rules for development that do not conform with Zoning Ordinance regulations

- Provides more clarity about types of permitted repair, expansions, and other modifications
- Incorporates recent changes in state law that apply to commercial and industrial nonconformities

Section 6.1

General Applicability

Section 6.2

Nonconforming Uses

Section 6.3

Nonconforming Structures

Section 6.4

Nonconforming Lots

Section 6.5

Nonconforming Signs

Section 6.6

Nonconformities Created by Eminent Domain or Voluntary Donation of Land for a Public Purpose

Article 7: Enforcement

Refines rules around enforcement of violation of the Zoning Ordinance, and clearly addresses:

- What actions result in a violation of the zoning ordinance
- What persons will be held responsible for violations
- Who enforces the ordinance and what procedures are used
- What remedies and penalties are available to the County

Section 7.1	Purpose
Section 7.2	Compliance Required
Section 7.3	Violations
Section 7.4	Responsible Persons
Section 7.5	Enforcement Generally
Section 7.6	Revocations
Section 7.7	Remedies and Penalties

Article 8: Definitions and Rules for Construction, Interpretation, and Measurement

Basic definitions and interpretive rules that assist in interpretation of new Zoning Ordinance

Section 8.1 Rules of Construction

Section 8.2 General Rules for Interpretation

Section 8.3 Rules of Measurement

Section 8.4 Principal Use Classification

Section 8.5 Definitions

Article 8: Definitions and Rules for Construction, Interpretation, and Measurement

Section 8.1: Rules of Construction

- Addresses general issues related to construction of language

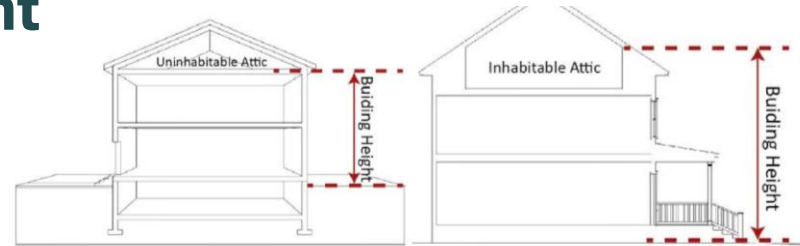
Section 8.2: General Rules for Interpretation

- Determining the meanings and intent of words and commonly used phrases
- Rule: text of ordinance controls (over diagrams, tables, or charts)
- Rules for interpretation of zone district boundaries
- General authorization to delegate authority to other professional-level staff

Article 8: Definitions and Rules for Construction, Interpretation, and Measurement

Section 8.3: Rules of Measurement

- Guidance for measuring density and dimensional standards (height, width, setbacks, lot area, etc.)



Section 8.4: Principal Use Classification and Definitions

- Definition and organization of use classifications and use categories

8.4.5. Industrial Uses Classification

(A) Extraction

The Extraction use category is characterized by activities related to the extraction of naturally occurring materials, such as sand and gravel. Accessory uses may include washing and grading plants, offices, storage areas, and vehicle washing facilities.

(B) Manufacturing and Processing

The Manufacturing and Production use category includes use types involved in the manufacturing, processing, production, fabrication, packaging, or assembly of goods. Products may be finished or semi-finished and are generally sold on the wholesale market, transferred to other plants, or made to order for firms or consumers. This use category includes breweries, distilleries, artisanal manufacturing, heavy manufacturing, light manufacturing, slaughterhouses, and wineries, based on the general extent of off-site impacts and the extent of outdoor storage. Goods are generally not displayed or sold on-site, but if so, such sales are a subordinate part of total sales. Relatively few customers come to the site. Accessory uses may include wholesale sales, offices, cafeterias, employee recreational facilities, warehouses, storage yards, repair facilities, truck fleets, fueling facilities, and security and caretaker's quarters.

Article 8: Definitions and Rules for Construction, Interpretation, and Measurement

Section 8.5: Definitions

Definitions of terms used in the new Zoning Ordinance

- Updates to many current definitions
- New definitions added where appropriate
- All uses defined

Outdoor storage area³⁸⁵

An area that provides for outdoor storage of machinery and equipment, not including vehicles.

P

Parking facility³⁸⁶

A facility designed to accommodate vehicular parking spaces. This use may be on the surface or contained within a structure with one or more floors that are partially enclosed or located on the deck surface of a building. This definition includes parking lots, parking garages, deck parking, and under-building parking areas.

Personal repair establishment³⁸⁷

An establishment primarily engaged in the repair of personal property, including repair of televisions and electronics, bicycles, clocks, watches, shoes, guns, canvas products, appliances, and office equipment, as well as locksmiths and upholsterer services. This does not include automotive repair services.

Personal services establishment³⁸⁸

An establishment primarily engaged in the provision of frequent or recurrent needed services of a personal nature, such as barbershops and beauty parlors, tattoo and piercing studios, nail salons, aestheticians, lash bars, packaging stores, mailing services, printing, engraving, photocopying, picture framing, tailoring, drapery making, taxidermy, employment agencies, and travel agents.

Place of assembly³⁸⁹

A building or portions of a building used for the gathering of persons for such purposes as deliberation, education, instruction, entertainment, amusement, drinking, dining, or awaiting transportation.

Portable storage container³⁹⁰

A container that is designed and rented or leased for the temporary storage of commercial, industrial, or residential household goods and that does not contain a foundation or wheels for movement. This use includes shipping containers that can be transported by mounting on a chassis, and POD-type boxes that can be transported on a flatbed or other truck.

Comments and Questions



Next Steps

TASK 1

PROJECT INITIATION

- Document Review
- Project Kickoff

TASK 2

CODE ASSESSMENT

- Code Assessment
- Conduct Meetings

TASK 3

CODE DRAFTING

- Zoning Resolution & Subdivision Regulations, in two installments
- Conduct Meetings

TASK 4

PUBLIC HEARING DRAFT

- Adoption



Thank you

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